

DEMOLITION OF EXISTING STRUCTURES AND CONSTRUCTION ON AN ATTACHED DUAL OCCUPANCY, TORRENTS TITLE SUBDIVISION

LILY & KARL

742 HENRY LAWSON DRIVE  
PICNIC POINT NSW 2213

LEGEND	
RL0.000	LEVEL RELATIVE TO AHD
FFL 0.000	FINISH FLOOR LEVEL
FCL 0.000	FINISH CEILING LEVEL
SSL 0.000	FINISH STRUCTURAL SLAB LEVEL
WL	WATER LEVEL
+TOW 0.000	TOP OF WALL LEVEL
+TOF 0.000	TOP OF FENCE HEIGHT FROM NATURAL GROUND LEVEL
	DETAIL OR SECTION REFERENCE DRAWING REFERENCE
	WINDOW NUMBER
	DOOR NUMBER
• DP (E)	DOWN PIPE EXISTING
• DP	DOWN PIPE NEW
	DOWN PIPE + RAINWATER HEAD
	DOWN PIPE + SPREADER
• FW	FLOOR WASTE
	GRATED DRAIN REFER TO HYDRAULIC ENGINEERS DETAILS
	PIT REFER TO HYDRAULIC ENGINEERS DETAILS
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
	SMOKE DETECTOR
S:	DOOR/WINDOW SILL HEIGHT
H:	DOOR/WINDOW HEAD HEIGHT
	PROPOSED WALL
	STRUCTURE TO BE DEMOLISHED
	PROPERTY BOUNDARY
	SEWER LINE

NOT FOR CONSTRUCTION




GENERAL NOTES		
NOTE. NO	NOTE	APPLICABLE.
1.	THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL DRAWINGS AND DOCUMENTS AS LISTED ON THE COVER SHEET. COVER SHEET	YES
2.	REFER TO LANDSCAPE PLAN FOR ALL ASSOCIATED LANDSCAPING DETAILS.	YES
3.	REFER TO HYDRAULIC ENGINEERS PLANS FOR ALL ASSOCIATED HYDRAULIC DETAILS.	YES
4.	REFER TO STRUCTURAL ENGINEERS PLANS FOR ALL ASSOCIATED STRUCTURAL DETAILS.	YES
5.	THE PROPOSED DEVELOPMENT MUST BE BUILT TO ENSURE THAT THE ASSOCIATED BASIX COMMITMENTS ARE MET	YES
6.	IT IS THE BUILDER'S RESPONSIBILITY TO ENSURE COMPLIANCE WITH THE CONDITIONS OF THE DEVELOPMENT APPLICATION CONSENT AND MEET ALL REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS.	YES
7.	FLASHINGS AND WEEPHOLES ARE TO BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS.	YES
8.	TERMITE PROTECTION AND BARRIERS ARE TO BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS.	YES
9.	ROOF AND WALL FRAMING TO BE IN ACCORDANCE WITH THE TIMBER FRAMING CODE AS1684-2003.	YES
10.	SMOKE DETECTORS ARE TO BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARDS.	YES
11.	ALL SERVICES ARE TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS.	YES
12.	THIS DRAWING REMAINS THE PROPERTY OF SYDESIGN. UNAUTHORISED USE OF THIS DRAWING IS PROHIBITED. IT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT WAS COMMISSIONED AND IN ACCORDANCE WITH THE TERMS OF ENGAGEMENT FOR THAT COMMISSION. SCALED DIMENSIONS ARE NOT TO TAKE PRECEDENCE OVER FIGURED DIMENSIONS. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. ALL DISCREPANCIES ARE TO BE REPORTED TO SYDESIGN FOR A DECISION BEFORE PROCEEDING WITH SITE WORK.	YES


DRAWING LIST FOR DA		
DWG. NO	DRAWING TITLE	REV.
DA00	COVER SHEET	C
DA01	SITE ANALYSIS	C
DA02	SITE PLAN AND DEMOLITION PLAN	C
DA03	LOWER GROUND FLOOR PLAN	C
DA04	GROUND FLOOR PLAN	C
DA05	FIRST FLOOR PLAN	C
DA06	ROOF PLAN	C
DA07	EAST & WEST ELEVATION	C
DA08	NORTH ELEVATION	C
DA09	SOUTH ELEVATION	C
DA10	STREETSCAPE ELEVATION	C
DA11	SECTION A-A	C
DA12	BASIX COMMITMENTS	C
DA13	BASIX COMMITMENTS - CONTINUED	C
DA14	BASIX - NATHERS	C
DA15	SHADOW DIAGRAMS ON MARCH 21 AT 8:00AM	C
DA16	SHADOW DIAGRAMS ON MARCH 21 AT 12:00PM	C
DA17	SHADOW DIAGRAMS ON MARCH 21 AT 4:00PM	C
DA18	SHADOW DIAGRAMS ON JUNE 21 AT 8:00AM	C
DA19	SHADOW DIAGRAMS ON JUNE 21 AT 12:00PM	C
DA20	SHADOW DIAGRAMS ON JUNE 21 AT 4:00PM	C
DA21	SCHEDULE OF MATERIALS AND FINISHES	C
DA22	SITE COVERAGE AND LANDSCAPE AREA CALCULATION PLANS	C
DA23	GROSS FLOOR AREA CALCULATION PLANS	C
DA24	3D PERSPECTIVES	C
DA25	SUBDIVISION PLAN	C

WINDOW SCHEDULE FOR DA							
BASIX Window No.	Window No.	Length x Height	Glass Type	BASIX Window No.	Window No.	Length x Height	Glass Type
W 01	W 01	1450 x 550	Refer BASIX	W 25	W 25	2050 x 900	Refer BASIX/Acoustic
W 02	W 02	1000 x 2545	Refer BASIX	W 26	W26	2050 x 900	Refer BASIX/Acoustic
W 03	W 03	900 x 2545	Refer BASIX	W 27	D27	3150 x 2700	Refer BASIX/Acoustic
W 04	D 04	2050 x 2650	Refer BASIX	W 28	W28	2050 x 900	Refer BASIX
W 05	D 05	3380 x 2650	Refer BASIX	W 29	W 29	5000 x 600	Refer BASIX
W 06	D 06	3380 x 2650	Refer BASIX	W 30	W 30	1050 x 600	Refer BASIX
W 07	D 07	2050 x 2650	Refer BASIX	W 31	W31	1050 x 600	Refer BASIX
W 08	W 08	1000 x 2550	Refer BASIX	W32	W32	5000 x 600	Refer BASIX
W 09	W 09	1000 x 2550	Refer BASIX	W33	SK01	900 x 600	Refer BASIX
W 10	W 10	1450 x 550	Refer BASIX	W34	SK02	900 x 600	Refer BASIX
W 11	D 11	1295 x 2500	Refer BASIX/Acoustic				
W12	W12	600 x 2500	Refer BASIX/Acoustic				
W13	W13	600 x 2500	Refer BASIX/Acoustic				
W14	D14	1295 x 2500	Refer BASIX/Acoustic				
W15	W15	2000 x 500	Refer BASIX				
W16	W16	500 x 2050	Refer BASIX				
W17	W17	3000 x 2050	Refer BASIX				
W18	D18	4600 x 2300	Refer BASIX				
W19	D19	4600 x 2300	Refer BASIX				
W20	W20	3000 x 2050	Refer BASIX				
W21	W21	500 x 2050	Refer BASIX				
W22	W22	2000 x 500	Refer BASIX				
W23	W23	2050 x 900	Refer BASIX				
W24	D24	3150 x 2700	Refer BASIX/Acoustic				

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C	ISSUE FOR DA SUBMISSION	23.12.21	CK	SY					
B	ISSUE FOR DA SUBMISSION	25.11.21	CK	SY					
A	ISSUE FOR COORDINATION	12.11.21	CK	SY					
REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED	REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED



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Drawing Title

COVER SHEET

Project

LILY & KARL - 742 HENRY LAWSON DRIVE, PICNIC POINT NSW 2213

Bar Scale

NTS

Scales

Job No.

2021-152

Drawing No.

DA00

Revision

C

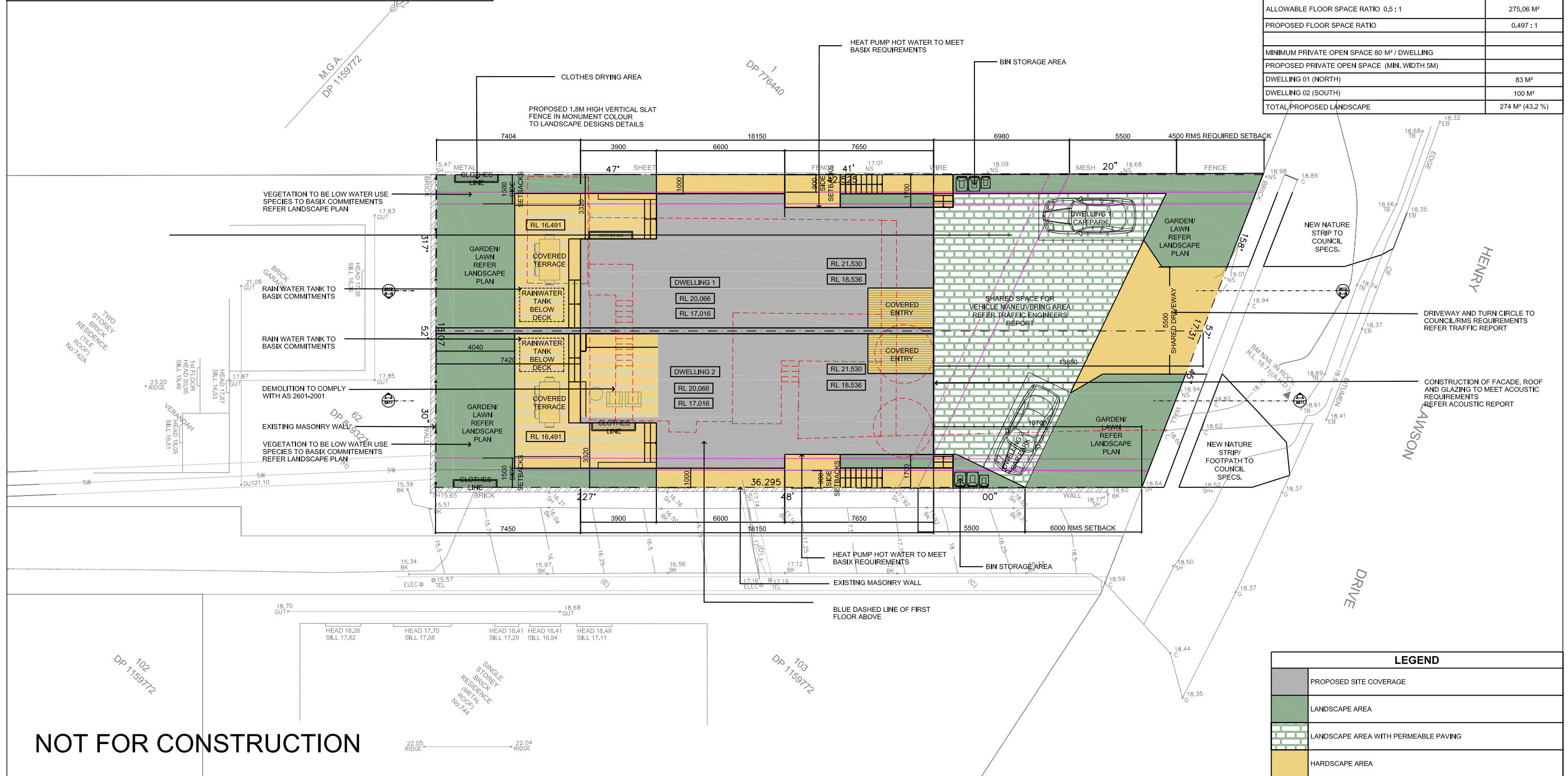




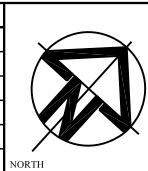


GENERAL NOTES	
	APPLICABLE.
<u>GENERAL NOTES</u>	
REFER TO FLOOR PLANS FOR ADDITIONAL SETBACK DIMENSIONS	YES
<u>STORMWATER/DRAINAGE NOTES</u>	
CONNECT ALL DOWNPIPES FROM NEW ROOFS TO HYDRAULIC ENGINEERS DETAILS. REFER TO HYDRAULIC ENGINEERS DRAWINGS FOR DETAILS	YES
<u>SECURITY &amp; SITE SAFETY NOTES</u>	
BUILDER TO PROVIDE SECURITY FENCING, SAFETY SIGNAGE & SAFETY BARRIERS FOR THE DURATION OF CONSTRUCTION	YES
<u>EROSION &amp; SEDIMENT CONTROL NOTE ( REFER STORM WATER ENGINEERS DOCUMENTS)</u>	
EROSION & SILTATION CONTROL SHOWN IN BOLD DASHED LINE, WHERE LINE IS SHOWN, INSTALL A MESH FENCE AT THE EDGE OF THE AREA TO BE DISTURBED. INSTALL PRIOR TO SITE DISTURBANCE. MESH TO BE SUPPORTED BY TIMBER POSTS AT A MAXIMUM OF 3000MM SPACING (DRIVEN 600MM IN TO THE GROUND). EXCAVATE A TRENCH ON THE DISTURBED SIDE OF THE FENCE TO RETAIN SILT. REFER TO COUNCIL'S EROSION SEDIMENTATION CONTROL POLICY FOR ADDITIONAL CONTROLS WHERE REQUIRED.	YES

<b>SITE AREA (TOTAL)</b>	<b>634.5 M²</b>
<b>SITE AREA (AFTER ACQUISITION)</b>	<b>550.12 M²</b>
<b>PROPOSED TOTAL FLOOR AREA</b>	<b>273.50 M²</b>
<b>COMPRISED OF:</b>	
<b>DWELLING 01 (NORTH)</b>	<b>143.25 M²</b>
<b>LOWER GROUND FLOOR AREA</b>	<b>63 M²</b>
<b>GROUND FLOOR AREA</b>	<b>59.70 M²</b>
<b>FIRST FLOOR AREA</b>	<b>20.55M²</b>
<b>DWELLING 02 (SOUTH)</b>	<b>130.25 M²</b>
<b>LOWER GROUND FLOOR AREA</b>	<b>50.00 M²</b>
<b>GROUND FLOOR AREA</b>	<b>59.70 M²</b>
<b>FIRST FLOOR AREA</b>	<b>20.55 M²</b>
<b>ALLOWABLE FLOOR SPACE RATIO 0.5 : 1</b>	<b>275.06 M²</b>
<b>PROPOSED FLOOR SPACE RATIO</b>	<b>0.497 : 1</b>
<b>MINIMUM PRIVATE OPEN SPACE 80 M² / DWELLING</b>	
<b>PROPOSED PRIVATE OPEN SPACE (MIN. WIDTH 5M)</b>	
<b>DWELLING 01 (NORTH)</b>	<b>83 M²</b>
<b>DWELLING 02 (SOUTH)</b>	<b>100 M²</b>
<b>TOTAL PROPOSED LANDSCAPE</b>	<b>274 M² (43.2 %)</b>



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C	ISSUE FOR DA SUBMISSION		22.12.21	CK	SY						
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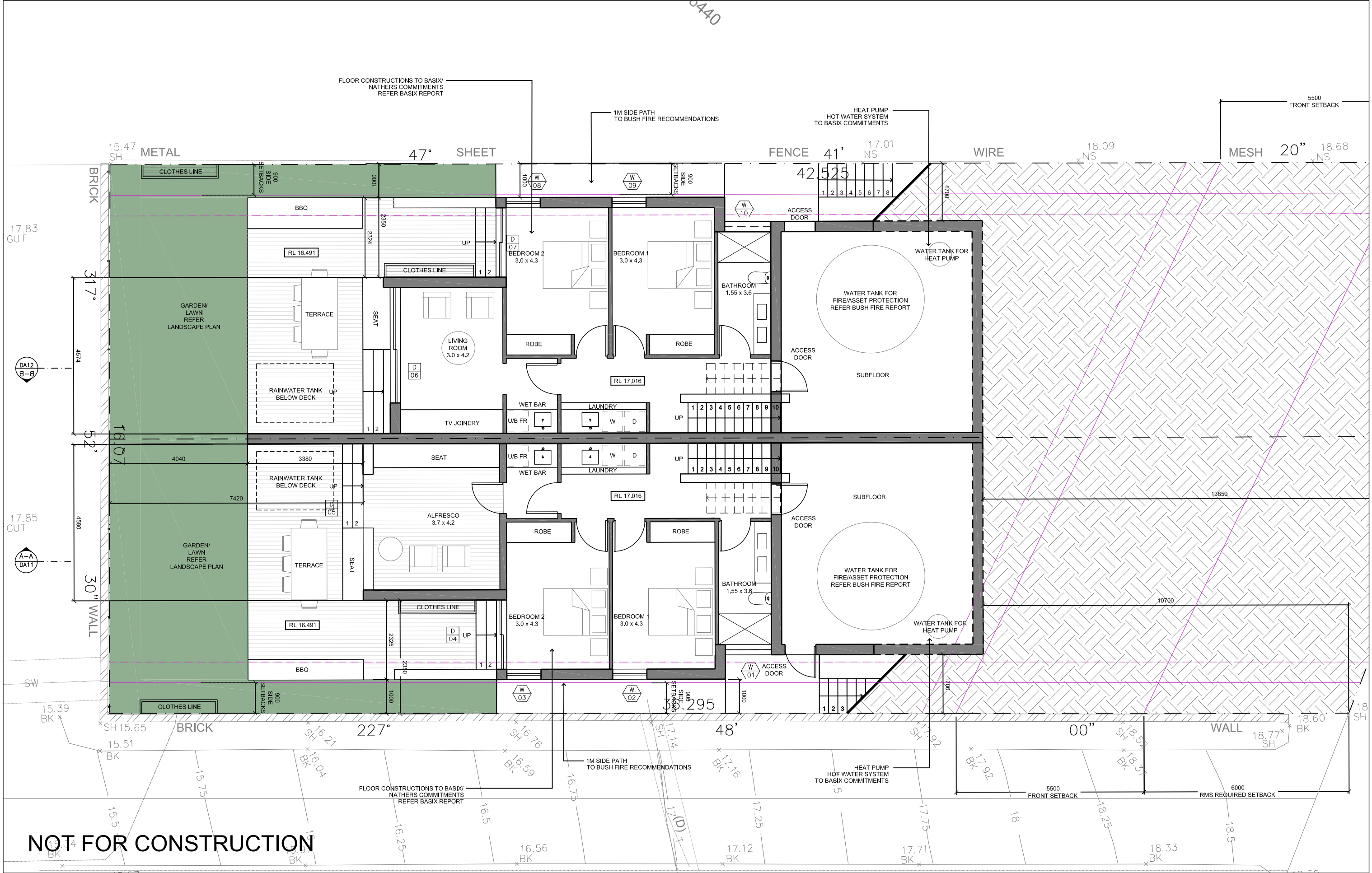


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Drawing Title				
SITE PLAN AND DEMOLITION PLAN				
Project				
LILY & KARL - 742 HENRY LAWSON DRIVE, PICNIC POINT NSW 2213				
Bar Scale	Scales	Job No.	Drawing No.	Revision
	1:200@A3	2021-152	DA02	C



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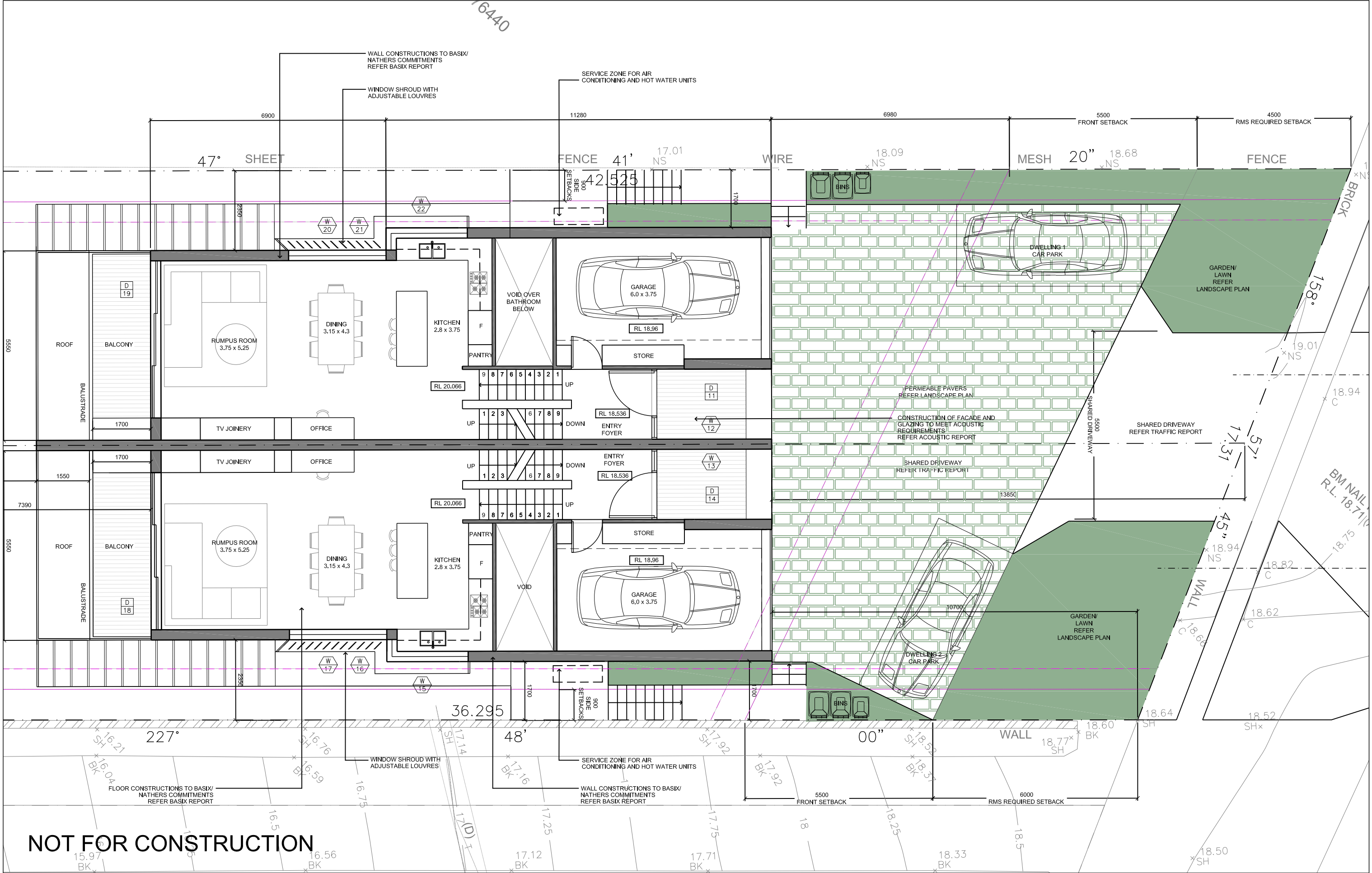
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Drawing Title		Project	
LOWER GROUND FLOOR PLAN		LILY & KARL - 742 HENRY LAWSON DRIVE, PICNIC POINT NSW 2213	
Bar Scale	Scales	Job No.	Drawing No.
	1:100@A3	2021-152	DA03
Revision		C	





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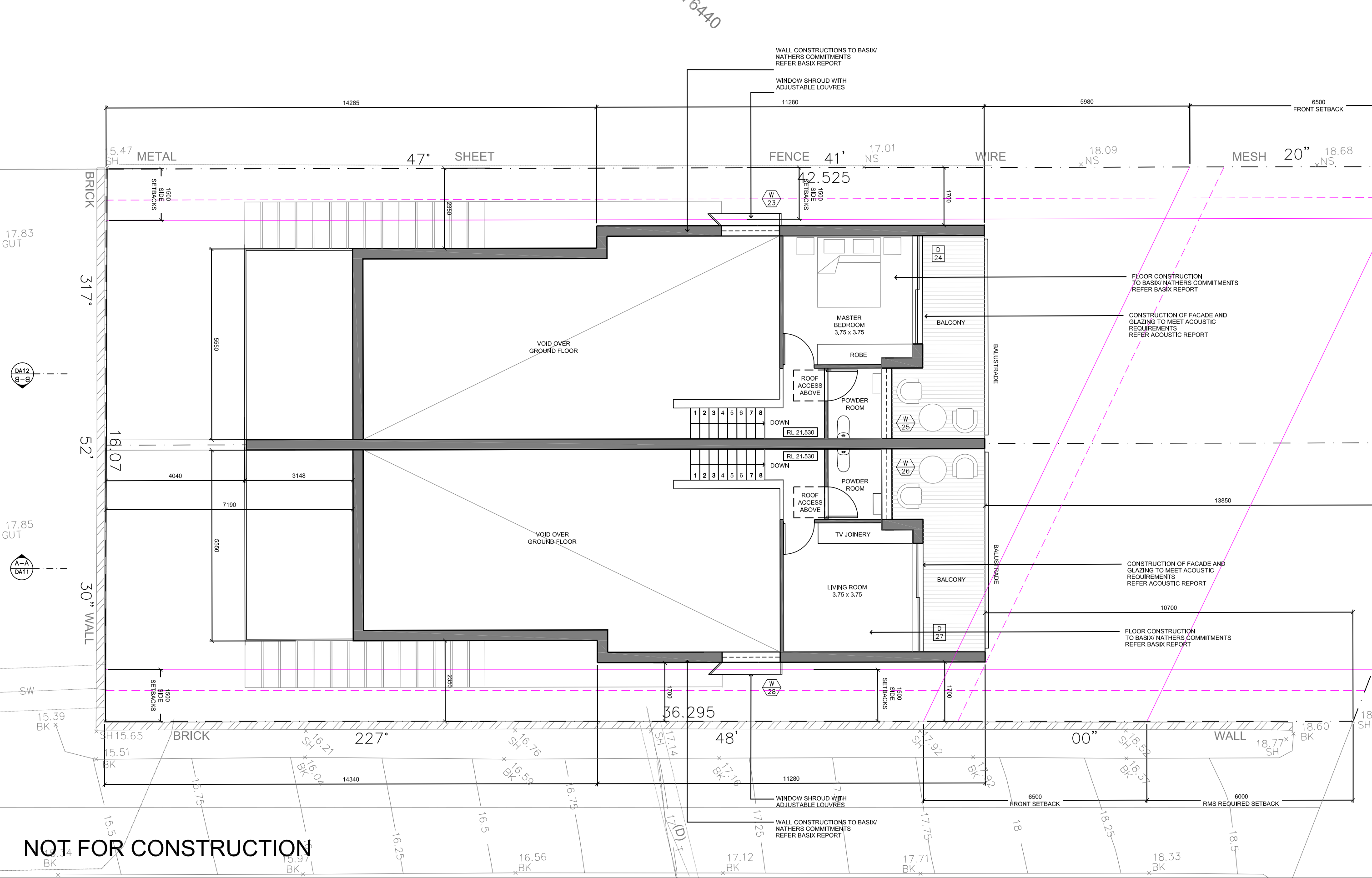
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Drawing Title		Project	
GROUND FLOOR PLAN		LILY & KARL - 742 HENRY LAWSON DRIVE, PICNIC POINT NSW 2213	
Bar Scale	Scales	Job No.	Drawing No.
	1:100@A3	2021-152	DA04
			Revision
			C





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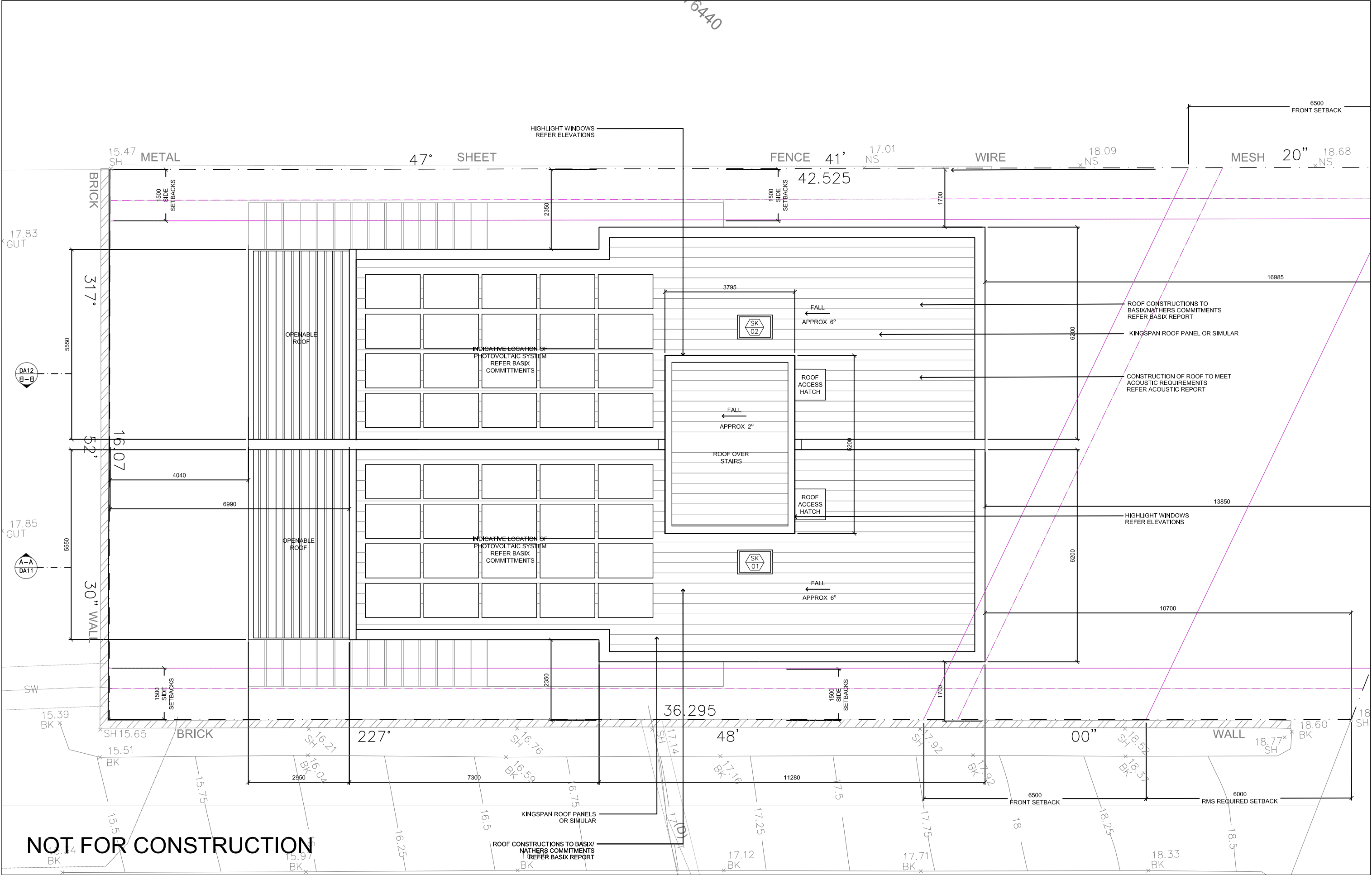
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Drawing Title		Project	
FIRST FLOOR PLAN		LILY & KARL - 742 HENRY LAWSON DRIVE, PICNIC POINT NSW 2213	
Bar Scale	Scales	Job No.	Drawing No.
	1:100@A3	2021-152	DA05
Revision		C	





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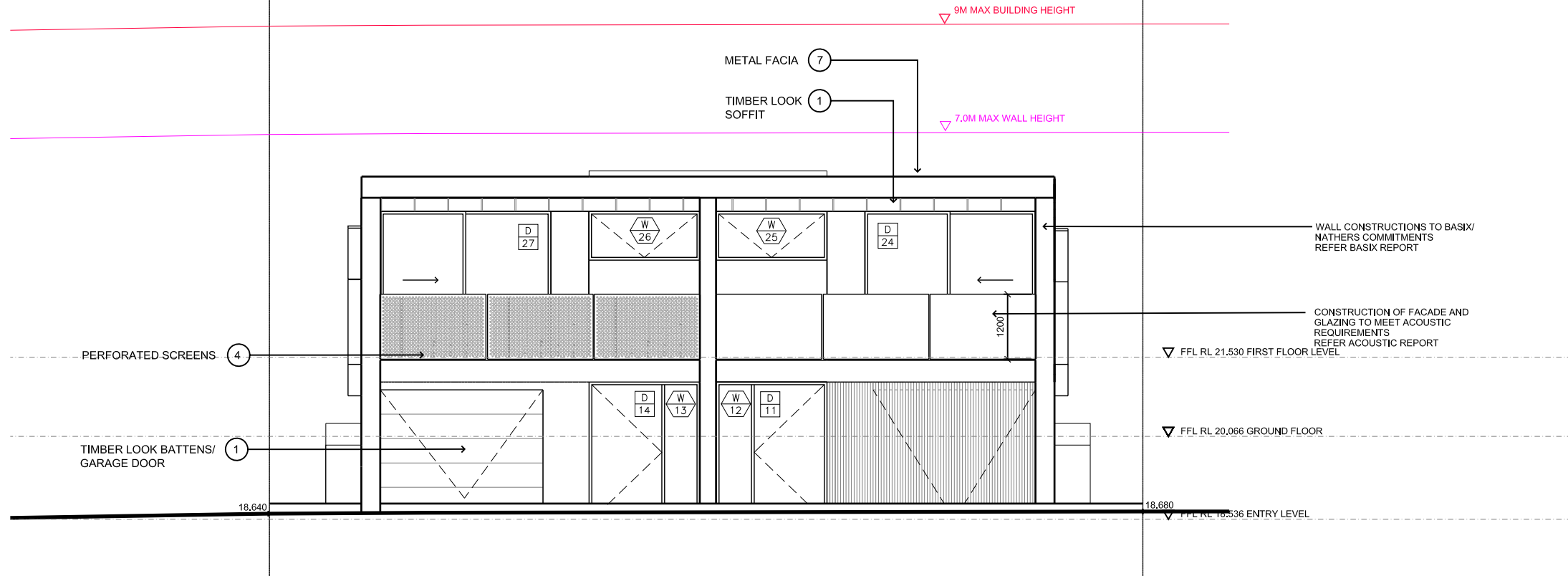
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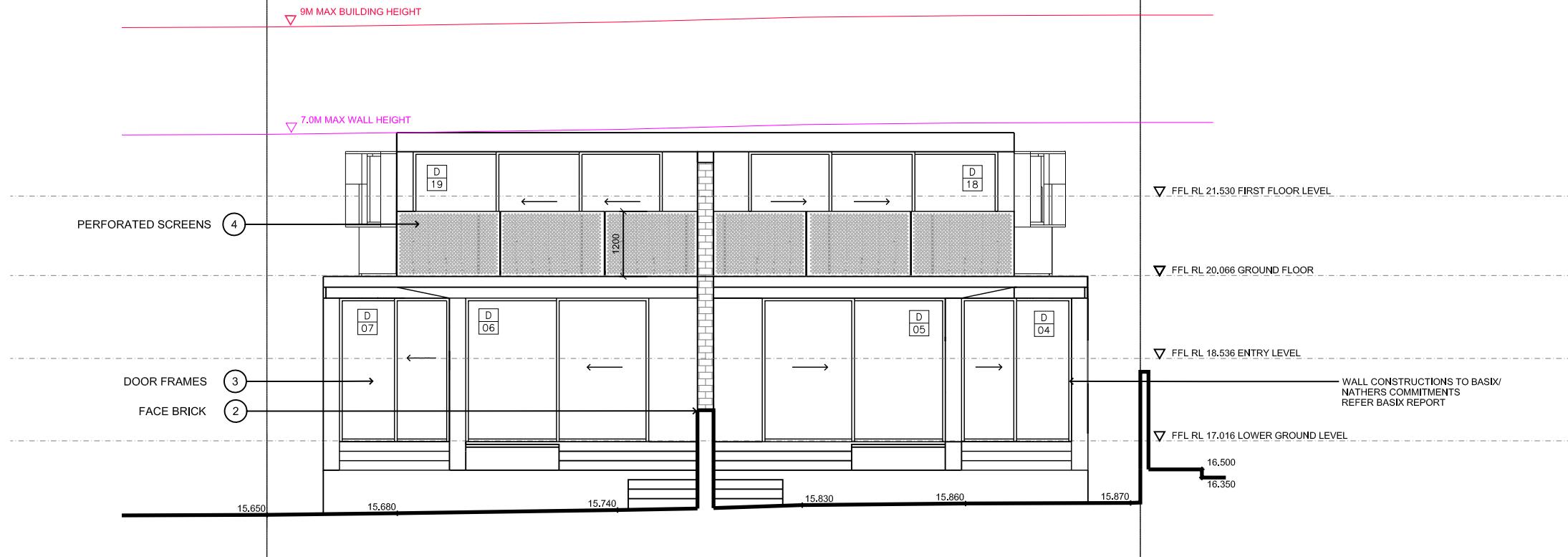
Drawing Title		Project	
ROOF PLAN		LILY & KARL - 742 HENRY LAWSON DRIVE, PICNIC POINT NSW 2213	
Bar Scale	Scales	Job No.	Drawing No.
	1:100@A3	2021-152	DA06
Revision		C	



EAST ELEVATION  
1:100



WEST ELEVATION  
1:100



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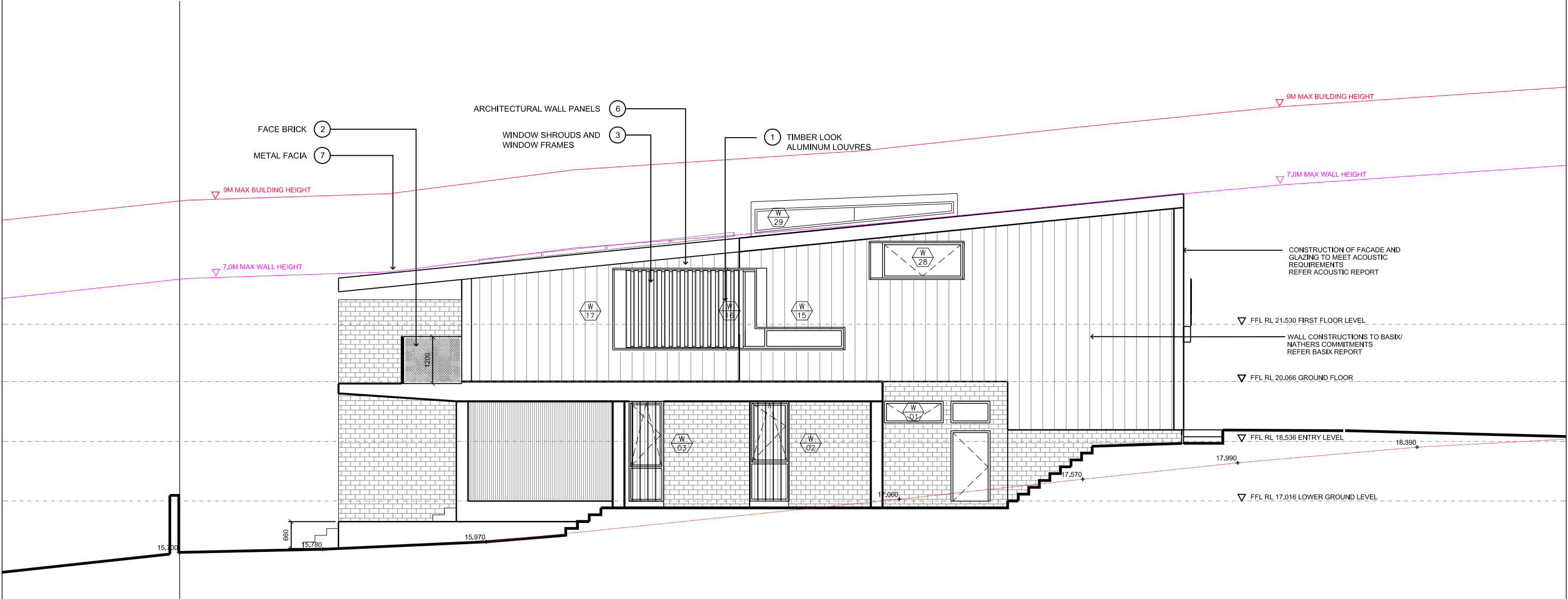
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Drawing Title EAST & WEST ELEVATION				
Project LILY & KARL - 742 HENRY LAWSON DRIVE, PICNIC POINT NSW 2213				
Bar Scale	Scales 1:100@A3	Job No. 2021-152	Drawing No. DA07	Revision C









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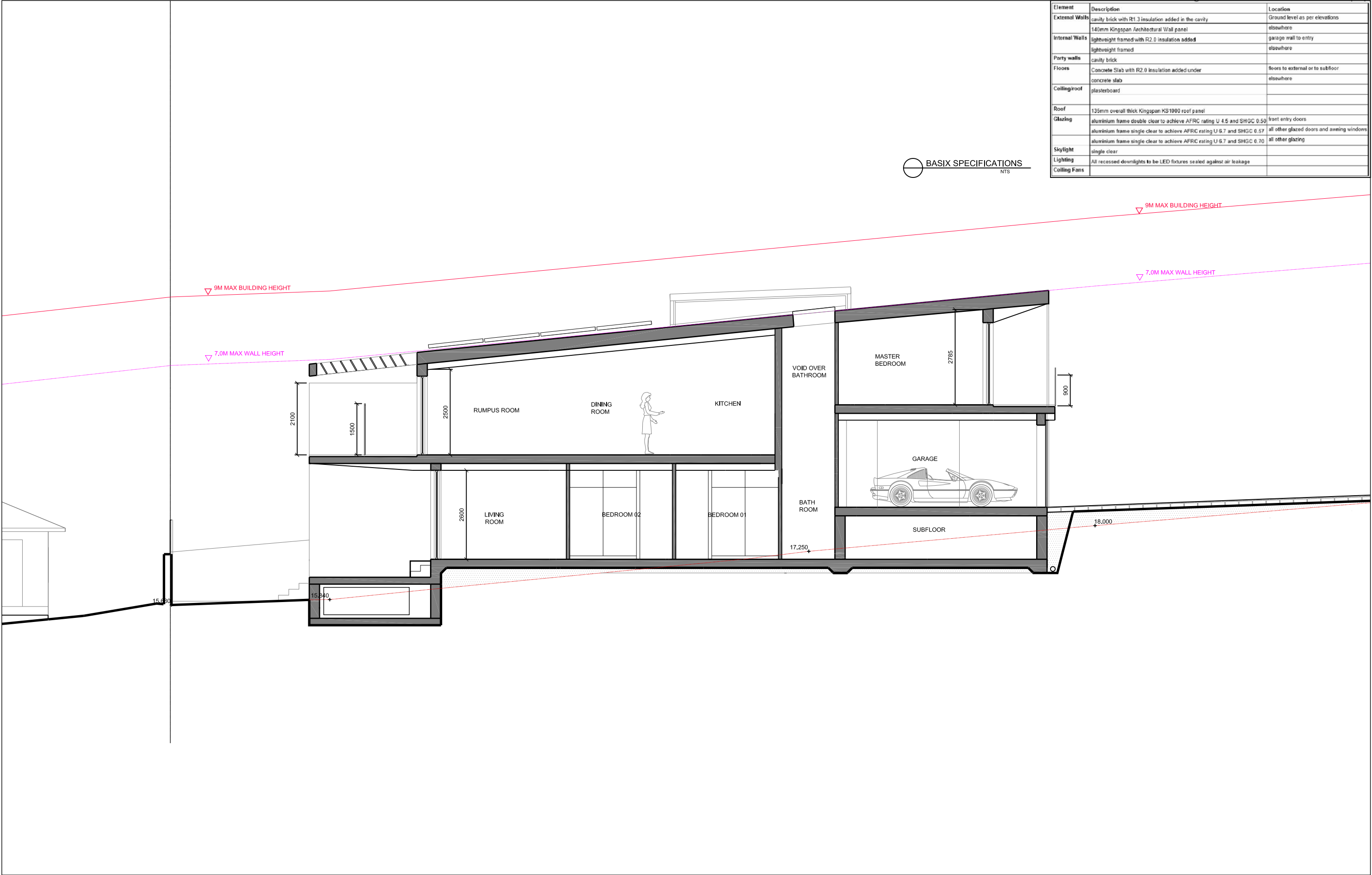
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Drawing Title	SOUTH ELEVATION			
Project	LILY & KARL - 742 HENRY LAWSON DRIVE, PICNIC POINT NSW 2213			
Bar Scale	Scales	Job No.	Drawing No.	Revision
	1:100@A3	2021-152	DA09	C







Element	Description	Location
External Walls	cavity brick with R1.3 insulation added in the cavity	Ground level as per elevations
	140mm Kingspan Architectural Wall panel	elsewhere
Internal Walls	lightweight framed with R2.0 insulation added	garage wall to entry
	lightweight framed	elsewhere
Party walls	cavity brick	
Floors	Concrete Slab with R2.0 Insulation added under	floors to external or to subfloor
	concrete slab	elsewhere
Ceiling/roof	plasterboard	
Roof	135mm overall thick Kingspan KS1000 roof panel	
Glazing	aluminium frame double clear to achieve AFRC rating U 4.5 and SHGC 0.50	front entry doors
	aluminium frame single clear to achieve AFRC rating U 6.7 and SHGC 0.57	all other glazed doors and awning windows
	aluminium frame single clear to achieve AFRC rating U 6.7 and SHGC 0.70	all other glazing
Skylight	single clear	
Lighting	All recessed downlights to be LED fixtures sealed against air leakage	
Coiling Fans		

BASIX SPECIFICATIONS  
NTS

THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL DRAWINGS. REFER TO COVER SHEET FOR MORE DETAILS AND LEGEND .										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Certificate number: 1254279M\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Friday, 18 March 2022  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	742 Henry Lawson Drive _02	
Street address	742 Henry Lawson Drive Picnic Point 2213	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	deposited 819327	
Lot no.	61	
Section no.	-	
No. of residential flat buildings	0	
No. of units in residential flat buildings	0	
No. of multi dwelling houses	2	
No. of single dwelling houses	0	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 100	Target 50

**Certificate Prepared by**

Name / Company Name: Ecological Design Pty Ltd

ABN (if applicable): 56151659120

## Description of project

Project address	
Project name	742 Henry Lawson Drive, G2
Street address	742 Henry Lawson Drive Picnic Point 2213
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	deposited B19327
Lot no.	61
Section no.	-
Project type	
No. of residential flat buildings	0
No. of units in residential flat buildings	0
No. of multi-dwelling houses	2
No. of single dwelling houses	0
Site details	
Site area (m²)	550.12
Roof area (m²)	220
Non residential floor area (m²)	0.0
Residential car spaces	4
Non residential car spaces	0

Common area landscape		
Common area lawn (m <sup>2</sup> )	0.0	
Common area garden (m <sup>2</sup> )	0.0	
Area of indigenous or low water use species (m <sup>2</sup> )	-	
Assessor details		
Assessor number	20570	
Certificate number	0006856930	
Climate zone	5b	
Ceiling fan in at least one bedroom	No	
Ceiling fan in at least one living room or other conditioned area	No	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 100	Target 50

### Description of project

The tables below describe the dwellings and common areas within the project

### Multi-dwelling houses

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
01	3	136.3	12.8	74.7	-
02	2	139.5	12.8	78.3	-

No common areas specified.

### Schedule of BASIX commitments

### 1. Commitments for multi-dwelling houses

## (a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

## 2. Commitments for single dwelling houses

- ... ..

- (i) Water
- (ii) Energy

### Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

### 1. Commitments for multi-dwelling houses

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(g) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(1) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(d) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(c) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: <ul style="list-style-type: none"> <li>(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and</li> <li>(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.</li> </ul>		✓	✓
(d) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.		✓	
(f) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

[illegible]

	Alternative water source							
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
01	individual water tank (no. 1)	Tank size (m <sup>3</sup> ) 1500.0 litres	To collect run off from at least: 110.0 square metres of roof area; 0.0 square metres of impervious area; 0.0 square metres of garden and lawn area; and 0.0 square metres of planter box area.	yes	no	yes	no	no
All other dwellings	individual water tank (no. 2)	Tank size (m <sup>3</sup> ) 1500.0 litres	To collect run off from at least: 110.0 square metres of roof area; 0.0 square metres of impervious area; 0.0 square metres of garden and lawn area; and 0.0 square metres of planter box area.	yes	no	yes	no	no

(i) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.			✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓

(i) Energy	Show on JA plans	Show on CC/CDC plans & specs	Certifier check
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, <i>in</i> at least 1 living/bedroom area of the dwelling, if no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for daylight zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "Primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓		✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: <ul style="list-style-type: none"> <li>(a) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and</li> <li>(b) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.</li> </ul>		✓	✓
(h) The applicant must install in the dwelling: <ul style="list-style-type: none"> <li>(a) the kitchen cook top and oven specified for that dwelling in the "Appliances &amp; other efficiency measures" column of the table below;</li> <li>(b) each appliance for which a rating is specified for that dwelling in the "Appliances &amp; other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and</li> <li>(c) any clothes drying line specified for the dwelling in the "Appliances &amp; other efficiency measures" column of the table.</li> </ul>		✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	✓
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓		✓

Hot water		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	electric hot pump air sourced 31 to 35 STCs	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
01	1 phase air conditioning EER 2.5 - 3.0 (zoned)	1 phase air conditioning EER 2.5 - 3.0 (zoned)	1 phase air conditioning EER 2.5 - 3.0 (zoned)	1 phase air conditioning EER 2.5 - 3.0 (zoned)	3 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	3	yes
All other dwellings	1 phase air conditioning EER 2.5 - 3.0 (zoned)	1 phase air conditioning EER 2.5 - 3.0 (zoned)	1 phase air conditioning EER 2.5 - 3.0 (zoned)	1 phase air conditioning EER 2.5 - 3.0 (zoned)	2 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	3	yes

	Individual pool		Individual spa		Appliances & other efficiency measures							
Dwelling no.	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	Induction cooktop & electric oven	-	no	-	-	-	yes	no

THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL DRAWINGS. REFER TO COVER SHEET FOR MORE DETAILS AND LEGEND.									
C	ISSUE FOR DA SUBMISSION	23,12,21	CK	SY					
B	ISSUE FOR DA SUBMISSION	25,11,21	CK	SY					
A	ISSUE FOR COORDINATION	22,10,21	CK	SY					
REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED	REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED

		Drawing Title <b>BASIS COMMITMENTS</b>	
p 02 9572 8000    f 02 9572 9000    e <a href="mailto:Info@sydesign.com.au">Info@sydesign.com.au</a> <a href="http://www.sydesign.com.au">www.sydesign.com.au</a> ABN 78 167 213 265		Project <b>LILY &amp; KARL - 742 HENRY LAWSON DRIVE, PICNIC POINT NSW 2213</b>	
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		Job No. <b>DA12</b>	Drawing No. <b>C</b>
		Revision <b></b>	<b></b>

	Alternative energy
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)
All dwellings	6.0

(a) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate these specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must:	✓	✓	✓
(a) install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or			
(b) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.			
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

	Thermal loads	
Dwelling no.	Area adjusted heating load (in mJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in mJ/m <sup>2</sup> /yr)
01	31.5	21.4
All other dwellings	45.0	18.1

	Construction of floors and walls				
Dwelling no.	Concrete slab on ground(m <sup>2</sup> )	Suspended floor with open subfloor (m <sup>2</sup> )	Suspended floor with enclosed subfloor (m <sup>2</sup> )	Suspended floor above garage (m <sup>2</sup> )	Primarily rammed earth or mudbrick walls
All dwellings	7	-	73	14	No

### 3. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on C/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by the alternative water supply systems) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓		
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓




Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility


(a) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralized lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

## Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not guarantee that stormwater, recycled water or private drain water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

### Legend

1. Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a  in the "Show on CC/GC/DC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL DRAWINGS. REFER TO COVER SHEET FOR MORE DETAILS AND LEGEND.										<div></div> <div>p 02 9572 8000 f 02 9572 9000 e Info@sydeslgn.com.au www.sydeslgn.com.au ABN 78 167 213 265</div> <div><small>This drawing remains the property of Sydesign Pty Ltd. Unauthorised use of this drawing is prohibited. It may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for that commission. Scaled dimensions are not to take precedence over figured dimensions. All dimensions are in millimetres unless stated otherwise. All discrepancies are to be reported to sydesign for a decision before proceeding with site work.</small></div>	Drawing Title <b>BASIX COMMITMENTS - CONTINUED</b>	
C	ISSUE FOR DA SUBMISSION		23.12.21	CK	SY						Project LILY & KARL - 742 HENRY LAWSON DRIVE, PICNIC POINT NSW 2213	
B	ISSUE FOR DA SUBMISSION		25.11.21	CK	SY							
A	ISSUE FOR COORDINATION		22.10.21	CK	SY							
REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED	REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED		Bar Scale NTS	
										Job No. 2021-152		
										Drawing No. DA13		
										Revision C		



Nationwide House Energy Rating Scheme — Multiple Class1-dwelling  
summary NatHERS Certificate No. 0006856930

Generated on 18 Mar 2022 using BERS Pro v4.4.1.5 (3.21)

Property

Address 742 Henry Lawson Dr , Picnic  
Point , NSW , 2213

Lot/DP 819327

NatHERS climate zone 56

Accredited assessor

John Caley

Ecological Design Pty Ltd

john@ecologicaldesign.com.au

0418 262 706

Accreditation No. 20570

Assessor Accrediting Organisation ABSA



Verification

To verify this certificate, scan the QR code or visit [hstar.com.au/QR/Generate?p=VzbkZiPLt](https://hstar.com.au/QR/Generate?p=VzbkZiPLt).  
When using either link, ensure you are visiting [hstar.com.au](https://hstar.com.au)

Summary of all dwellings

Certificate number and link	Unit Number	Heating load (MJ/m <sup>2</sup> /p.a.)	Cooling load (MJ/m <sup>2</sup> /p.a.)	Total load (MJ/m <sup>2</sup> /p.a.)	Star rating
0006856892-02	Dwelling 01	31.5	21.4	52.8	5.9
0006856918-01	Dwelling 02	45	18.1	63.1	5.2

National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated buildings are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at [www.abcb.gov.au](https://www.abcb.gov.au).

State and territory variations and additions to the NCC may also apply.

Nationwide House Energy Rating Scheme (NatHERS) is an initiative of the Australian, state and territory governments.  
For more details see [www.nathers.gov.au](https://www.nathers.gov.au).

Page 1 of 2

0006856930 NatHERS Certificate

18 Mar 2022



Explanatory Notes

About this report

This is a summary of NCC Class 1 dwellings in a development. The individual dwellings' ratings are a comprehensive, dynamic computer modelling evaluation of a home, using the floorplans, elevations and specifications to estimate the energy load. It addresses the building layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings), but does not cover the water or energy use of appliances, or energy production of solar panels. For more details about an individual dwelling's assessment, refer to the individual dwelling's NatHERS Certificate (accessible via link).

Accredited Assessors

To ensure the NatHERS Certificate is of a high quality, always use an accredited or licenced assessor. NatHERS accredited assessors are members of a professional body called an Assessor Accrediting Organisation (AAO). AAOs have specific quality assurance processes in place, and continuing professional development requirements, to maintain a high and consistent standard of assessments across the country.

Any questions or concerns about this report should be directed to the assessor in the first instance. If the assessor is unable to address these questions or concerns, the AAO specified on the front of this certificate should be contacted.

Disclaimer

The format of the NatHERS Certificate was developed by the NatHERS Administrator. However the content, input and creation of the NatHERS Certificate is by the assessor. It is the responsibility of the assessor who prepared this certificate to use NatHERS accredited software correctly and follow the NatHERS Technical Notes to produce a NatHERS Certificate.

Nationwide House Energy Rating Scheme (NatHERS) is an initiative of the Australian, state and territory governments.  
For more details see [www.nathers.gov.au](https://www.nathers.gov.au).

Page 2 of 2

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REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED	REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED
C	ISSUE FOR DA SUBMISSION	23.12.21	CK	SY					
B	ISSUE FOR DA SUBMISSION	25.11.21	CK	SY					
A	ISSUE FOR COORDINATION	22.10.21	CK	SY					

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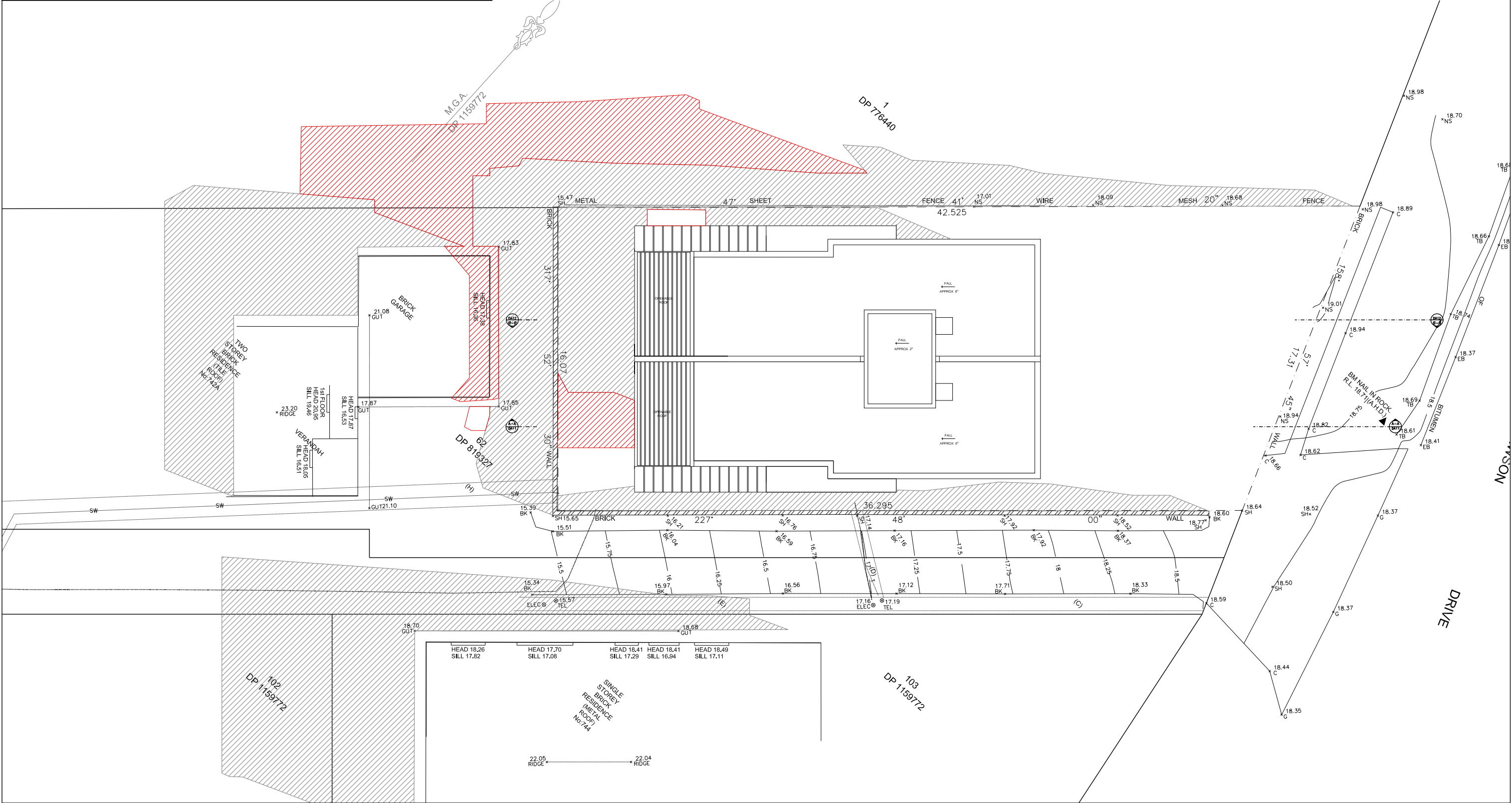
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Drawing Title  
BASIX - NATHERS

Project  
LILY & KARL - 742 HENRY LAWSON DRIVE, PICNIC POINT NSW 2213

Bar Scale	Scales	Job No.	Drawing No.	Revision
	NTS	2021-152	DA14	C

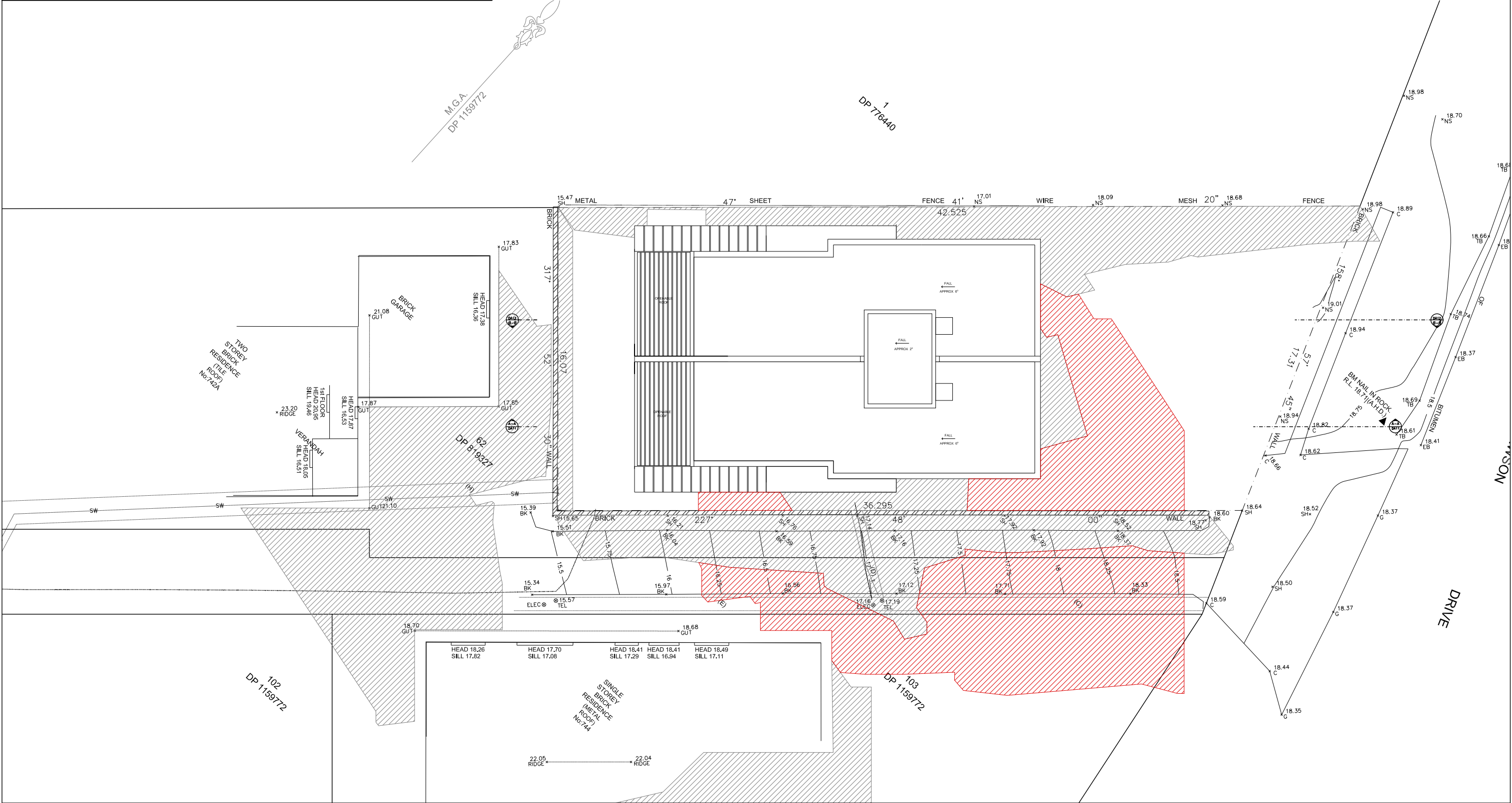
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		APPLICABLE
<div></div>	EXISTING SHADOW	YES
<div></div>	NEW ADDITIONAL SHADOW	YES
<div></div>	LIGHT GAINED	YES







LEGEND		
		APPLICABLE
<div></div>	EXISTING SHADOW	YES
<div></div>	NEW ADDITIONAL SHADOW	YES
<div></div>	LIGHT GAINED	YES



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C	ISSUE FOR DA SUBMISSION	22.12.21	CK	SY					
B	ISSUE FOR DA SUBMISSION	25.11.21	CK	SY					
A	ISSUE FOR CLIENT REVIEW	XX.XX.XX	XX	SY					
REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED	REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED

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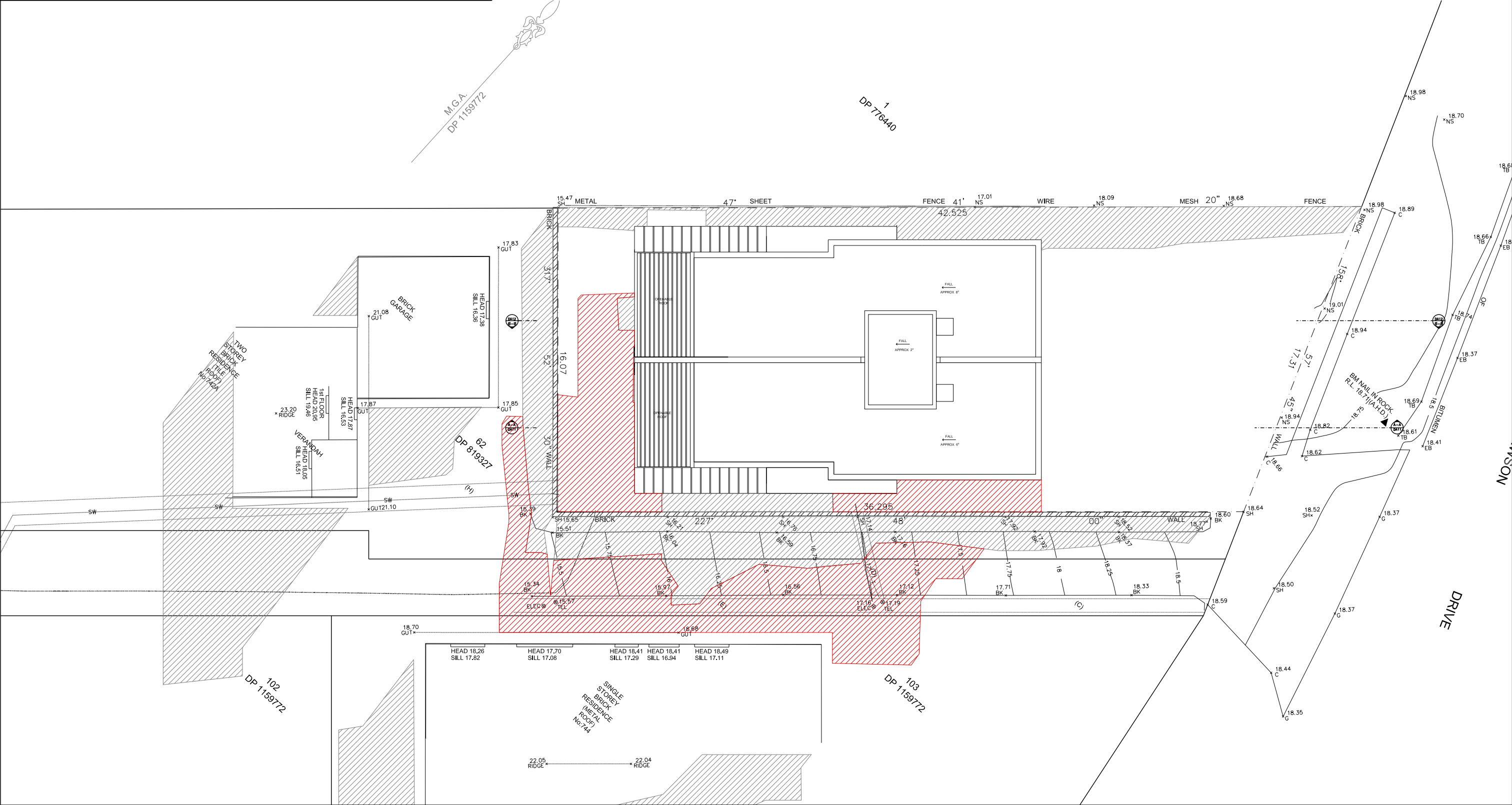
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Drawing Title		SHADOW DIAGRAMS ON MARCH 21 AT 4:00PM	
Project		LILY & KARL - 742 HENRY LAWSON DRIVE, PICNIC POINT NSW 2213	
Bar Scale	Scales	Job No.	Drawing No.
	1:200@A3	2021-152	DA17
			Revision
			C








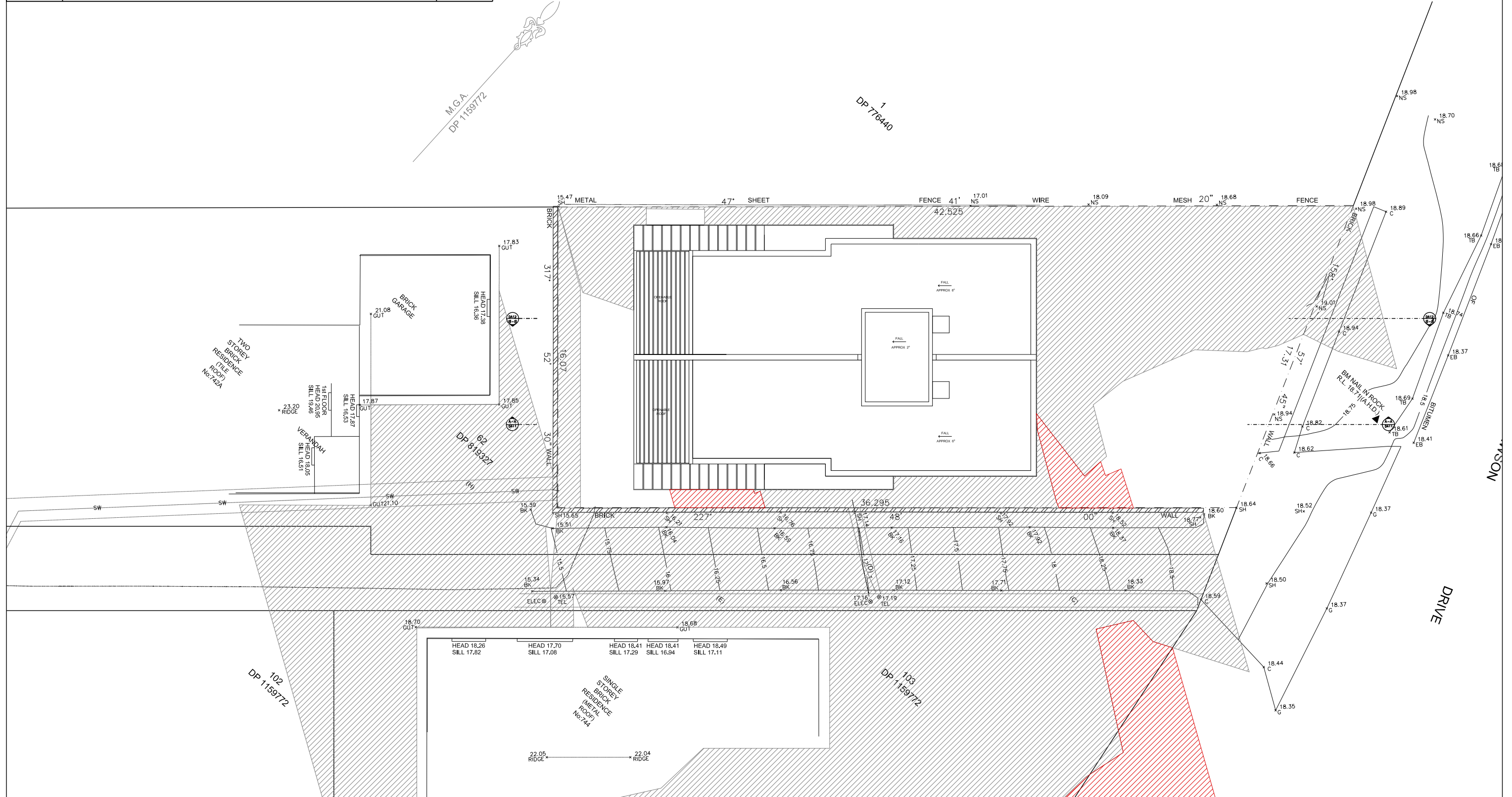
LEGEND		
		APPLICABLE
<div></div>	EXISTING SHADOW	YES
<div></div>	NEW ADDITIONAL SHADOW	YES
<div></div>	LIGHT GAINED	YES



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												Project LILY & KARL - 742 HENRY LAWSON DRIVE, PICNIC POINT NSW 2213			
C   ISSUE FOR DA SUBMISSION   22.12.21   CK   SY															
B   ISSUE FOR DA SUBMISSION   25.11.21   CK   SY															
A   ISSUE FOR CLIENT REVIEW   XX.XX.XX   XX   SY															
REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED	REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED	Bar Scale	Scales 1:200@A3	Job No. 2021-152	Drawing No. DA19	Revision C	



LEGEND		
		APPLICABLE
	EXISTING SHADOW	YES
	NEW ADDITIONAL SHADOW	YES
	LIGHT GAINED	YES



THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL DRAWINGS. REFER TO COVER SHEET FOR MORE DETAILS AND LEGEND.

C	ISSUE FOR DA SUBMISSION	22,12,21	CK	SY						
B	ISSUE FOR DA SUBMISSION	25,11,21	CK	SY						
A	ISSUE FOR CLIENT REVIEW	XX,XX,XX	XX	SY						
REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED	REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED	



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Drawing Title  
SHADOW DIAGRAMS ON JUNE 21 AT 4:00PM

Project  
LILY & KARL - 742 HENRY LAWSON DRIVE, PICNIC POINT NSW 2213

Bar Scale
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Scales
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1:200@A3

Job No.
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2021-152

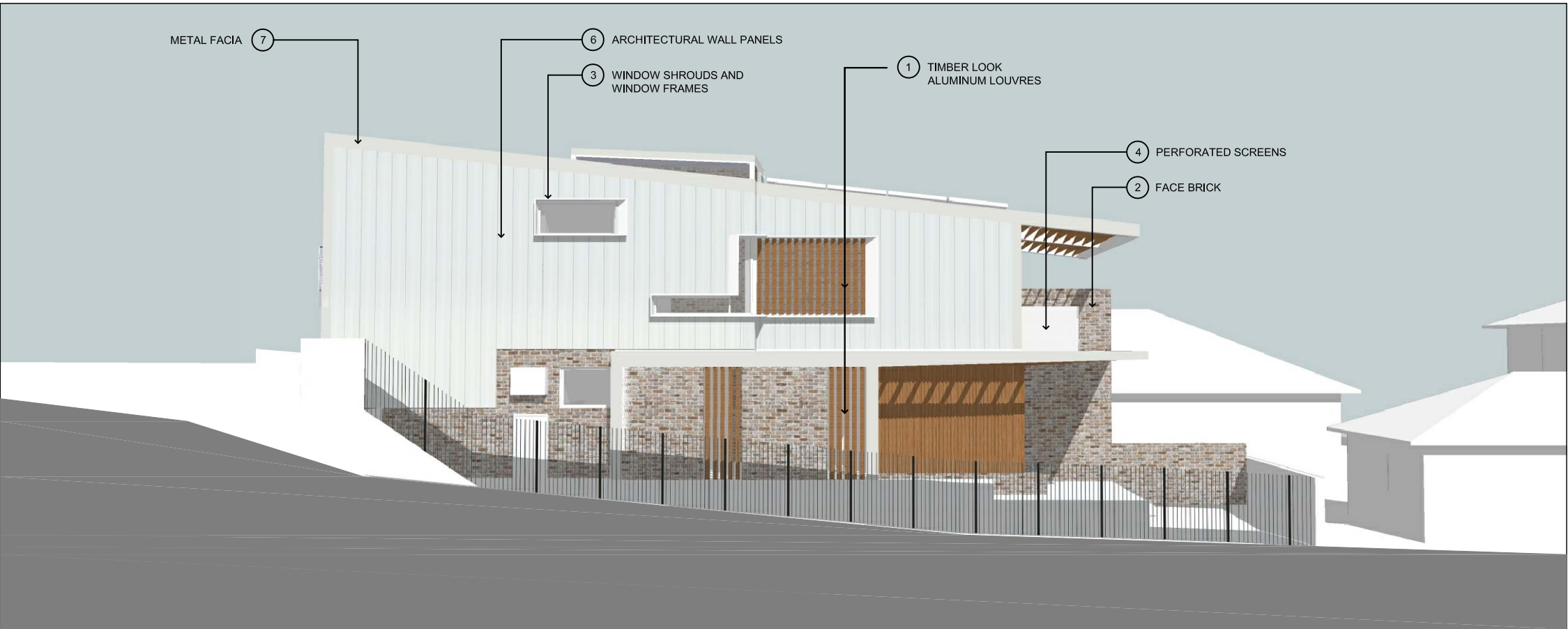
Drawing No.

DA20

revision

C

PRECEDENT  
IMAGES



TIMBER LOOK ALUMINIUM -  
SPOTTED GUM OR SIMILAR

TIMBER LOOK  
LOUVRES / PANELS ①

- TO:
- ADJUSTABLE ROOF SHADING
  - SUN SHADING
  - PRIVACY SCREENS



FACE BRICK ②

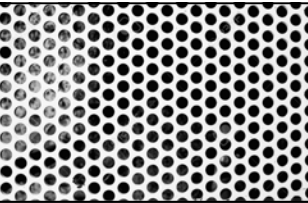
- TO:
- EXTERNAL WALLS
  - RETAINING WALLS



OFF-WHITE METALLIC POWDERCOATED  
ALUMINIUM & CLEAR LOW-E GLAZING

WINDOWS/ DOORS ③

- TO:
- WINDOWS AND DOORS
  - GLASS BALUSTRADES  
(FRAMELESS SAFETY GLASS)
  - POOL FENCE  
(FRAMELESS SAFETY GLASS)



PERFORATED METAL IN WHITE TO  
MATCH WINDOW FRAMES

PERFORATED  
SCREENS ④

- TO:
- BALUSTRADE
  - WINDOW SHROUDS



TEXTURED OFF-FORM CONCRETE FINISH

CONCRETE ⑤

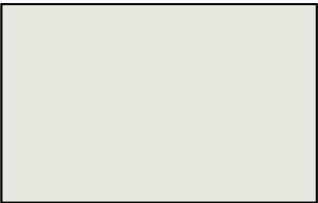
- TO:
- EXTERNAL WALLS
  - DRIVEWAY
  - RETAINING WALLS



LYSAGHT LONGLINE® 305 CLADDING  
OR SIMILAR

CORREGATED  
WALL / ROOF  
SYSTEM ⑥

- TO:
- EXTERNAL WALLS
  - ROOFING



OFF-WHITE POWDERCOAT

METAL AND STEEL ⑦

- TO:
- POSTS & STRUCTURAL STEEL
  - HANDRAILS
  - EXTERNAL LIGHTING FITTINGS
  - ROOF ACCESSORIES

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REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED	REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED
B	ISSUE FOR DA SUBMISSION	25.11.21	CK	SY					
A	ISSUE FOR COORDINATION	22.10.21	CK	SY					

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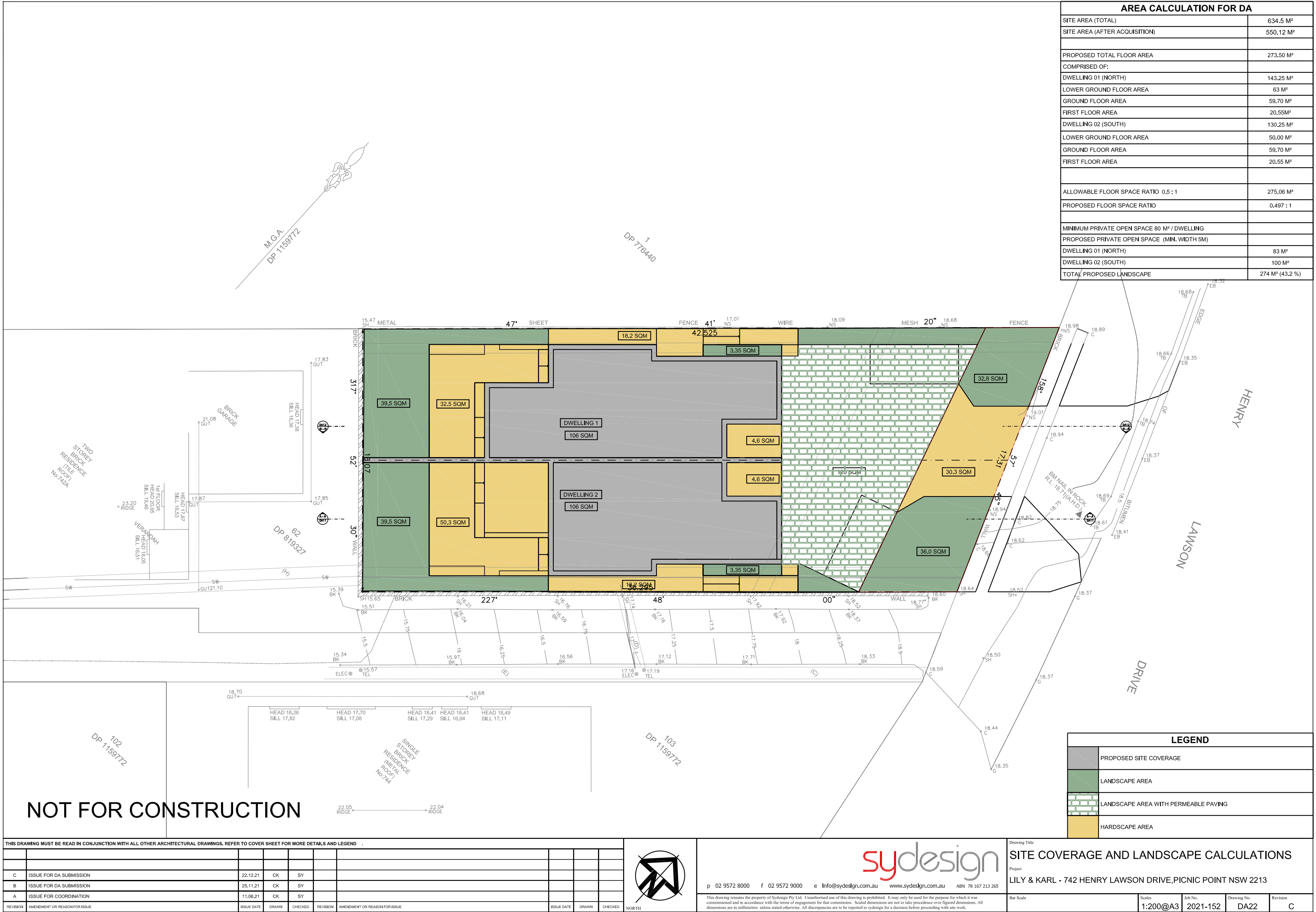
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Drawing Title  
SCHEDULE OF MATERIALS & FINISHES

Project  
LILY & KARL - 742 HENRY LAWSON DRIVE, PICNIC POINT NSW 2213

Bar Scale	Scales	Job No.	Drawing No.	Revision
	1:100@A3	2021-152	DA21	B





THIS DRAWING MUST BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL DRAWINGS. REFER TO COVER SHEET FOR MORE DETAILS AND LEGEND									
C	ISSUE FOR DA SUBMISSION	22.12.21	CK	SY					
B	ISSUE FOR DA SUBMISSION	25.11.21	CK	SY					
A	ISSUE FOR COORDINATION	11.08.21	CK	SY					
REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED	REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED

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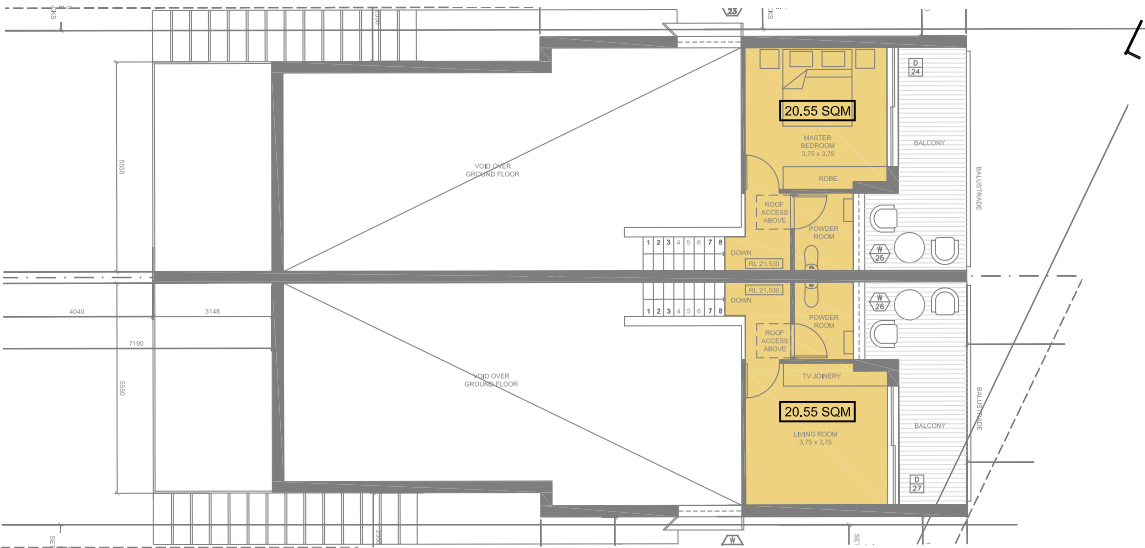
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Drawing Title  
**SITE COVERAGE AND LANDSCAPE CALCULATIONS**

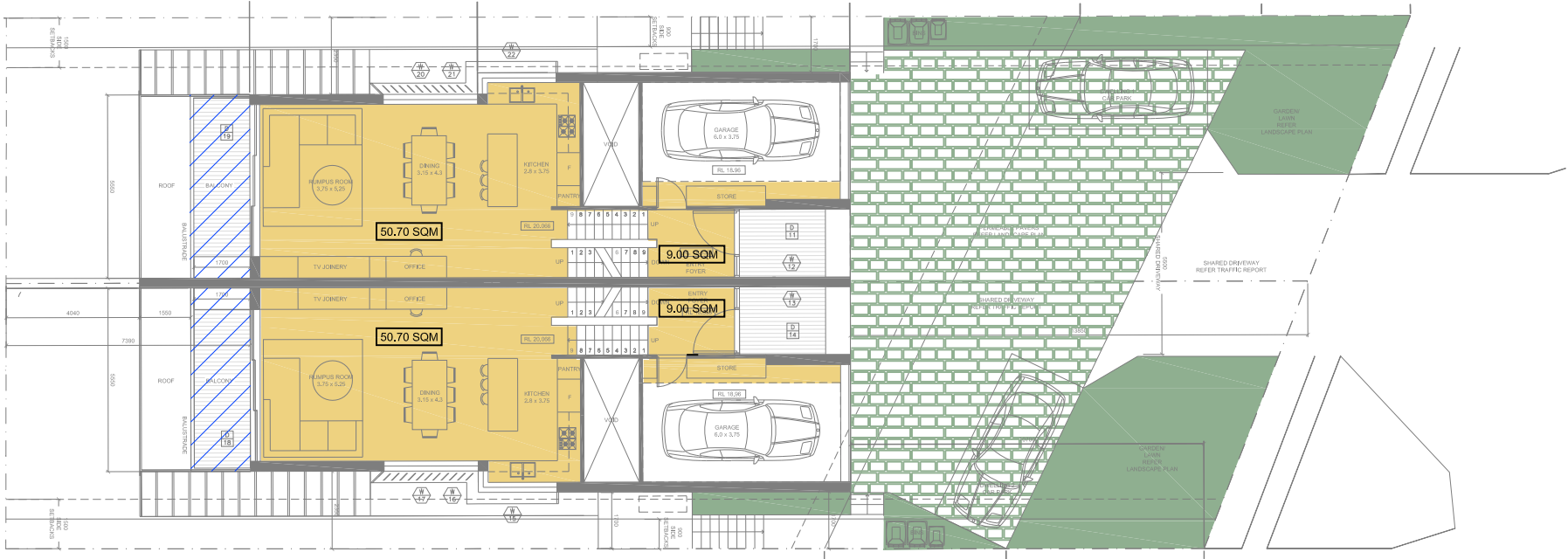
Project  
**LILY & KARL - 742 HENRY LAWSON DRIVE, PICNIC POINT NSW 2213**

Bar Scale	Scales <b>1:200@A3</b>	Job No. <b>2021-152</b>	Drawing No. <b>DA22</b>	Revision <b>C</b>
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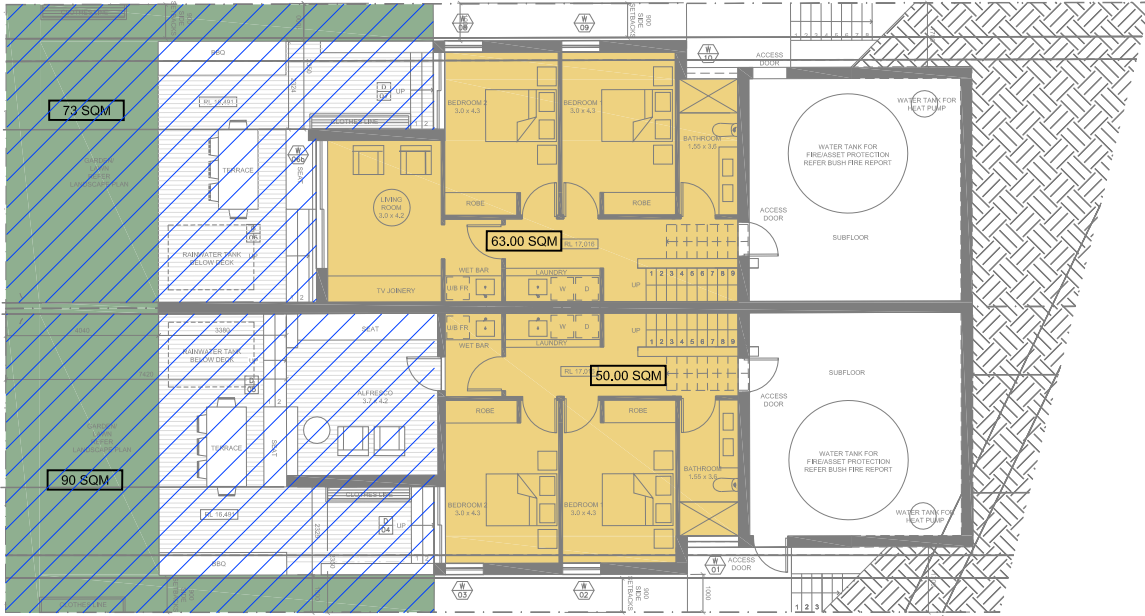
FIRST FLOOR AREA



GROUND FLOOR AREA



LOWER GROUND FLOOR AREA



AREA CALCULATION FOR DA	
SITE AREA (TOTAL)	634.5 M²
SITE AREA (AFTER ACQUISITION)	550.12 M²
PROPOSED TOTAL FLOOR AREA	273.50 M²
COMPRISED OF:	
DWELLING 01 (NORTH)	143.25 M²
LOWER GROUND FLOOR AREA	63 M²
GROUND FLOOR AREA	59.70 M²
FIRST FLOOR AREA	20.55M²
DWELLING 02 (SOUTH)	130.25 M²
LOWER GROUND FLOOR AREA	50.00 M²
GROUND FLOOR AREA	59.70 M²
FIRST FLOOR AREA	20.55 M²
ALLOWABLE FLOOR SPACE RATIO 0.5 : 1	275.06 M²
PROPOSED FLOOR SPACE RATIO	0.497 : 1
MINIMUM PRIVATE OPEN SPACE 80 M² / DWELLING	
PROPOSED PRIVATE OPEN SPACE (MIN. WIDTH 5M)	
DWELLING 01 (NORTH)	83 M²
DWELLING 02 (SOUTH)	100 M²
TOTAL PROPOSED LANDSCAPE	274 M² (43.2 %)

LEGEND	
	FLOOR SPACE INCLUDED IN GROSS FLOOR AREA
	PRIVATE OPEN SPACE
	LANDSCAPE

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C	ISSUE FOR DA SUBMISSION	22.12.21	CK	SY	
B	ISSUE FOR DA SUBMISSION	25.11.21	CK	SY	
A	ISSUE FOR COORDINATION	XX.08.21	CK	SY	
REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED	REVISION



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Drawing Title <b>GROSS FLOOR AREA CALCULATIONS</b>				
Project <b>LILY &amp; KARL - 742 HENRY LAWSON DRIVE, PICNIC POINT NSW 2213</b>				
Bar Scale	Scales <b>1:200@A3</b>	Job No. <b>2021-152</b>	Drawing No. <b>DA23</b>	Revision <b>C</b>





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C	ISSUE FOR DA SUBMISSION	22.12.21	CK	SY					
B	ISSUE FOR DA SUBMISSION	25.11.21	CK	SY					
A	ISSUE FOR CLIENT REVIEW	06.10.20	CK	SY					
REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED	REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED

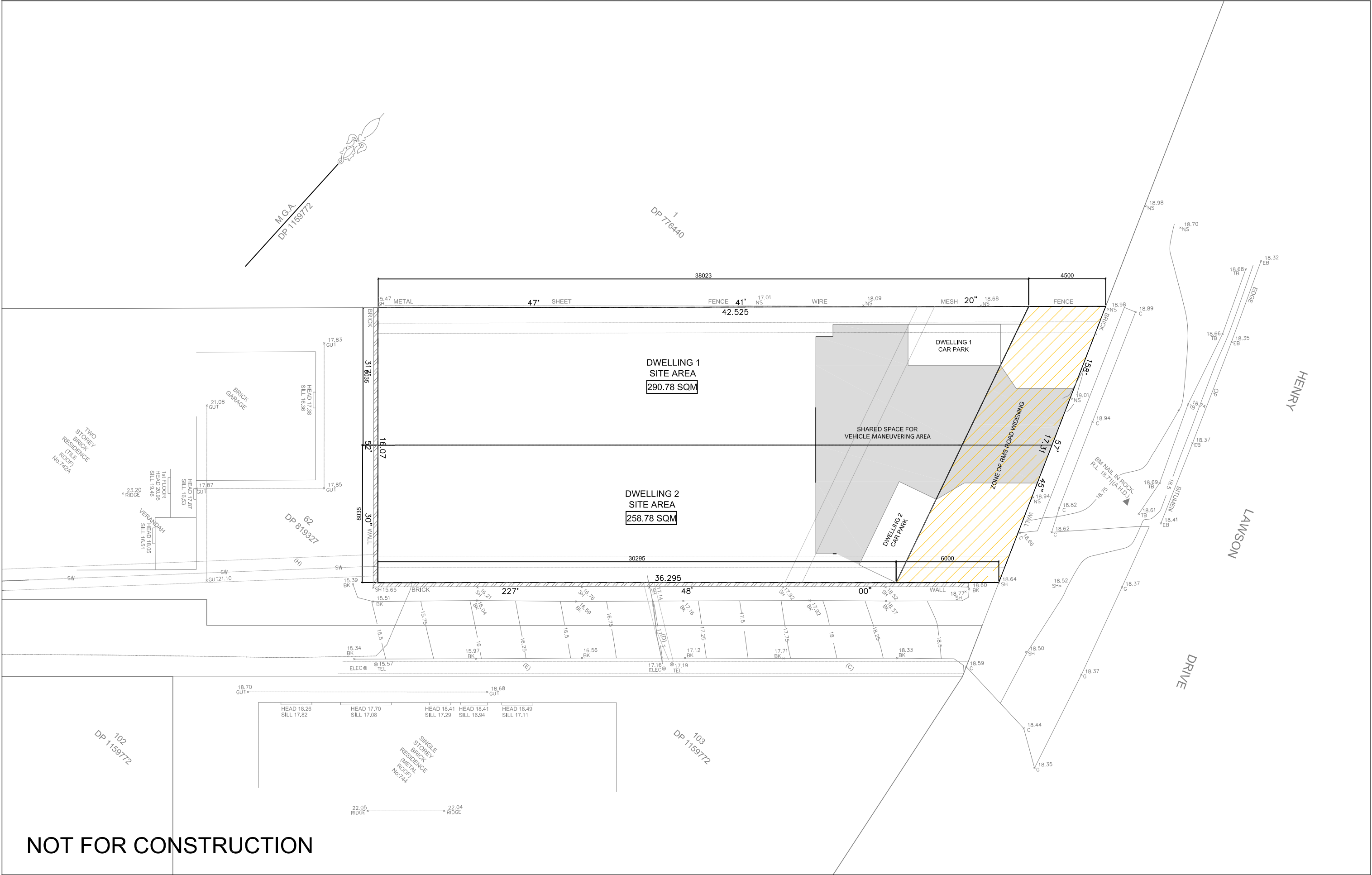
NORTH



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Drawing Title 3D PERSPECTIVES				
Project LILY & KARL - 742 HENRY LAWSON DRIVE, PICNIC POINT NSW 2213				
Bar Scale	Scales NTS	Job No. 2021-152	Drawing No. DA24	Revision C



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REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED	REVISION	AMENDMENT OR REASON FOR ISSUE	ISSUE DATE	DRAWN	CHECKED
C	ISSUE FOR DA SUBMISSION	22.12.21	CK	SY					
B	ISSUE FOR DA SUBMISSION	25.11.21	CK	SY					
A	ISSUE FOR COORDINATION	17.11.21	CK	SY					

NORTH		sydesign		p 02 9572 8000 f 02 9572 9000 e Info@sydesign.com.au www.sydesign.com.au		ABN 78 167 213 265	
Drawing Title		SUBDIVISION PLAN		Project		LILY & KARL - 742 HENRY LAWSON DRIVE, PICNIC POINT NSW 2213	
Bar Scale		Scales		Job No.		Drawing No.	
		1:200@A3		2021-152		DA25	
				Revision		C	